

# *Precision Property Inspections LLC*

## Property Inspection Report



517 E. Center Street, Clayton, NJ 08312  
Inspection prepared for: Home Owner  
Real Estate Agent: -

Date of Inspection: 4/6/2013 Time: 11:30 A.m.  
Weather: Sunny

Inspector: Jeffrey Belfus  
License # NJ 24GI00119500  
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We appreciate the opportunity to conduct this inspection for you! Please carefully read your entire Inspection Report. Call us after you have reviewed your report, so we can go over any questions you may have. Remember, when the inspection is completed and the report is delivered, we are still available to you for any questions you may have, throughout the entire closing process. Properties being inspected do not "Pass" or "Fail." - The following report is based on an inspection of the visible portion of the structure; inspection may be limited by vegetation and possessions. Depending upon the age of the property, some items like GFI outlets may not be installed; **this report will focus on safety and function, not current code.** This report identifies specific non-code, non-cosmetic concerns that the inspector feels may need further investigation or repair. For your safety and liability purposes, we recommend that licensed contractors evaluate and repair any critical concerns and defects. **Note that this report is a snapshot in time. We recommend that you or your representative carry out a final walk-through inspection immediately before closing to check the condition of the property, using this report as a guide.**

# Inspection Details

## 1. Attendance

In Attendance: Client present • Buyer Agent present • Seller present

## 2. Home Type

Home Type: Colonial Style

## 3. Occupancy

Occupancy: Occupied - Furnished: Heavy volume of personal and household items observed. • Access to some items such as: electrical outlets/receptacles, windows, wall/floor surfaces, and cabinet interiors may be restricted by furniture or personal belongings. Any such items are excluded from this inspection report.

## Grounds

### 1. Driveway and Walkway Condition

Materials: Concrete driveway noted.

Observations:

- Minor settlement, or "hairline" cracks in driveways, are normal for properties of any age. They should, however, be monitored for expansion and sealed as necessary.

### 2. Grading

Observations:

- No major system safety or function concerns noted at time of inspection.

### 3. Vegetation Observations

Observations:

- Prune or remove any plants that are in contact or proximity to home to eliminate pathways of wood destroying insects.



Prune trees

### 4. Gate Condition

Materials: Plastic

Observations:

- Fences and gates are NOT INCLUDED as part of a home inspection. Gates and fence however were checked and appeared to be functional.

### 5. Patio and Porch Deck

Observations:

- Appeared functional at time of inspection.

### 6. Grounds Electrical

Observations:

- No major system safety or function concerns noted at time of inspection.

### 7. GFCI

Observations:

- GFCI receptacle located at rear entry to home was functioning properly.

### 8. Main Gas Valve Condition

Materials: Main gas shut off located at outside meter - Right side of house

Observations:

- Meter located at exterior. All gas appliances have cut-off valves in line at each unit. No gas odors detected.

### 9. Exterior Faucet Condition

Location: Front of structure. • Rear of house

Observations:

- Appears Functional.

## Exterior Areas

## 1. Doors

## Observations:

- Appeared in functional and in satisfactory condition, at time of inspection.

## 2. Window Condition

## Observations:

- No major system safety or function concerns noted at time of inspection. It is always recommended to monitor caulking around windows to avoid any type of water intrusion.

## 3. Siding Condition

Materials: Vinyl siding noted. • Stone veneer note. on front of home.

## Observations:

- No major system safety or function concerns noted at time of inspection.

## 4. Eaves &amp; Facia

## Observations:

- Suggest sealing/caulking as part of routine maintenance.

## Roof

## 1. Roof Condition

Materials: Inspected from ladder at multiple locations. Due to Pitch of the roof

Materials: Asphalt shingles noted.

Observations:

- No major system safety or function concerns noted at time of inspection.

## 2. Chimney

Observations:

- No major system safety or function concerns noted at time of inspection.

## 3. Gutter

Observations:

- Gutters from the upper roofs drained onto the lower roofs. this could cause shingles to lose some of their life expectancy. recommend downspouts be installed down to lower gutters



## Foundation

### 1. Slab Foundation

#### Observations:

- Poured foundation floors were observed in basement and crawlspace and No deficiencies were found. Some areas of floor were covered with clutter



### 2. Foundation Perimeter

#### Observations:

- No deficiencies were observed at the visible portions of the structural components of the home.
- No leaks were observed at the time of the inspection.

### 3. Foundation Walls

#### Observations:

- No leaks were observed at the time of the inspection.

### 4. Anchor Bolts

#### Observations:

- The anchor bolts were not visible.

### 5. Foundation Electrical

#### Observations:

- Electrical systems in basement appeared functional at time of inspection.

### 6. Foundation Plumbing

#### Observations:

- Appears Functional at time of inspection.

### 7. Sump Pump

#### Observations:

- Suggest securing cover. Sump was tested and in working order at time of inspection. Function of sump was shown to client.

### 8. Ducting

#### Observations:

- No deficiencies were observed at the visible portions of the structural components of the home.



## Attic

## 1. Access

## Observations:

- Master Bedroom Closet Access

## 2. Structure

## Observations:

- Roof trusses observed were in good condition

## 3. Ventilation

## Observations:

- Under eave soffit inlet vents noted.
- Thermostatically controlled Power Ventilator on roof field noted.
- Gable louver vents noted.

## 4. Vent Screens

## Observations:

- Vent screens noted as functional.

## 5. Duct Work

## Observations:

- None observed.

## 6. Electrical

## Observations:

- Most areas not accessible due to insulation.

## 7. Attic Plumbing

## Observations:

- ABS plumbing vents
- No deficiencies noted in plumbing vent piping.

## 8. Insulation Condition

Materials: Blown in fiberglass insulation noted.

Depth: Insulation averages about 10-12 inches in depth or deeper in most areas

## Observations:

- Insulation appears adequate.



Heavy Insulation

### 9. Exhaust Vent

- Observations:
- Functional.

## Garage

## 1. Roof Condition

Materials: Roofing is the same as main structure. • Inspected from ladder.

Materials: Asphalt shingles noted.

Observations:

- No major system safety or function concerns noted at time of inspection.

## 2. Walls

Observations:

- Appeared satisfactory, at time of inspection.

## 3. Anchor Bolts

Observations:

- The anchor bolts were inspected and appear to be in satisfactory condition

## 4. Floor Condition

Materials: Bare concrete floors noted.

Observations:

- Common cracks noted.

## 5. Rafters &amp; Ceiling

Observations:

- Limited review due to finished ceilings.
- No deficiencies observed at the visible portions of the roof structure.

## 6. Electrical

Observations:

- The majority of grounded receptacles , were tested and found to be wired correctly.

## 7. Fire Door

Observations:

- Appeared satisfactory and functional, at time of inspection. Door was fire rated and hinges were self closing



1 1/2 hour fire rating on door

### 8. Garage Door Condition

Materials: Two - single 7', steel panel, sectional roll-up doors.

Observations:

- No deficiencies observed.

### 9. Garage Door Parts

Observations:

- The garage door appeared functional during the inspection.

### 10. Ventilation

Observations:

- Under eave soffit inlet vents noted.

## Interior Areas

The Interior section covers areas of the house that are not considered part of the Bathrooms, Bedrooms, Kitchen or areas covered elsewhere in the report. Interior areas usually consist of hallways, foyer, and other open areas. Within these areas the inspector is performing a visual inspection and will report visible damage, wear and tear, and moisture problems if seen. Personal items in the structure may prevent the inspector from viewing all areas on the interior.

The inspector does not usually test for mold or other hazardous materials. A qualified expert should be consulted if you would like further testing.

### 1. Cabinets

Observations:

- No deficiencies observed.

### 2. Doors

Observations:

- All door were functional at time of inspection

### 3. Electrical

Observations:

- It is recommended to (have a qualified electrician) install an Arc Fault Circuit Interrupter breaker in place of the the one currently protecting the bedroom circuits, Although this was not required when home was built it is a Safety recommendation for the future.

### 4. Smoke Detectors

Observations:

- Smoke detectors were present. Smoke detectors normally last 6-10 years. The age of the smoke detectors can not be determined. Recommend replacing detectors in the future

### 5. Ceiling Condition

Materials: There are drywall ceilings noted.

### 6. Patio Doors

Observations:

- **\*\*Sliding Patio Doors\*\***

### 7. Wall Condition

Materials: Drywall walls noted.

Observations:

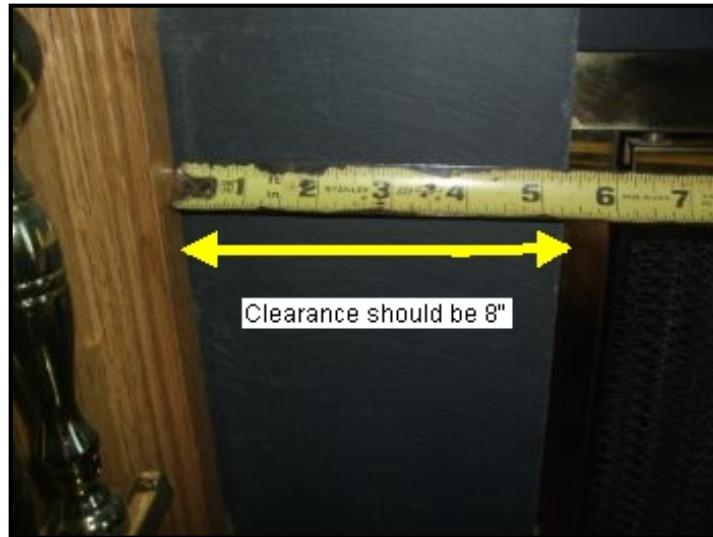
- Some areas not accessible due to stored personal items.

### 8. Fireplace

Materials: Family Room

Observations:

- **Wood burning fireplace in Family room was checked, Damper functioned properly and Flue appeared to be cleaned from visible ares. Combustible clearances for wood burning fireplaces are 16" in front and 8" on sides. Fireplace side clearance was not 8". Recommend extending combustible clearances before fireplace is used to heat the home.**



Clearance

### 9. Window Condition

Materials: Vinyl framed double hung window noted.

## Bedrooms

The main area of inspection in the bedrooms is the structural system. This means that all walls, ceilings and floors will be inspected. Doors and windows will also be investigated for damage and normal operation. Personal items in the bedroom may prevent all areas to be inspected as the inspector will not move personal items.

### 1. Locations

Locations: Upstairs #4 • Upstairs #3 • Upstairs Master#1 • Upstairs #2

### 2. Ceiling Fans

Observations:

- Master bedroom ceiling fan was operated by remote control and functioned properly

### 3. Closets

Observations:

- The closet is in serviceable condition.

### 4. Doors

Observations:

- Doors all functioned properly

### 5. Electrical

Observations:

- Some outlets not accessible due to furniture and or stored personal items.

### 6. Floor Condition

Flooring Types: Carpet is noted.

### 7. Smoke Detectors

Observations:

- CO detectors were not installed in home at time of inspection. Owner of home was directed as to where to install detectors. and said she would install them.

### 8. Wall Condition

Materials: Drywall walls noted.

### 9. Window Condition

Materials: Vinyl framed double hung window noted.

Observations:

- The windows that were tested, are functional.

### 10. Ceiling Condition

Materials: There are drywall ceilings noted.

## Bathroom

Bathrooms can consist of many features from jacuzzi tubs and showers to toilets and bidets. Because of all the plumbing involved it is an important area of the house to look over. Moisture in the air and leaks can cause mildew, wallpaper and paint to peel, and other problems. The home inspector will identify as many issues as possible but some problems may be undetectable due to problems within the walls or under the flooring..

### 1. Locations

Locations: Master Bathroom • Upstairs bathroom • 1/2 bath on main floor

### 2. Cabinets

Observations:

- Most not accessible due to stored personal items.
- No deficiencies observed.



Personnel items under bathroom sinks

### 3. Ceiling Condition

Materials: There are drywall ceilings noted.

Observations:

- All appeared to be in satisfactory condition

### 4. Doors

Observations:

- No major system safety or function concerns noted at time of inspection.

### 5. Electrical

Observations:

- No major system safety or function concerns noted at time of inspection.

### 6. GFCI

Observations:

- GFCI reset for all bathrooms was located in master bathroom. Client was shown that all GFCIs functioned and was shown where to reset them.

### 7. Exhaust Fan

Observations:

- The bath fan was operated and no issues were found.



## 8. Floor Condition

### Observations:

- Floors were in good working condition

## 9. Heating

### Observations:

- Central heating and cooling noted in this room. At the time of the inspection, all appeared to be functioning and in serviceable condition.

## 10. Mirrors

### Observations:

- Mirrors and medicine cabinets were all in working order.

## 11. Plumbing

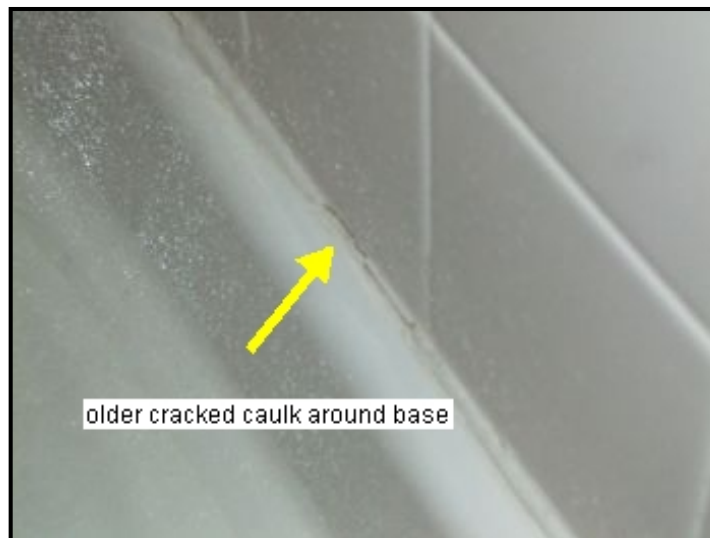
### Observations:

- All plumbing appeared functional in bathrooms at time of inspection. water was ran and no leaks were observed.

## 12. Showers

### Observations:

- Shower base showed signs of older caulking around it. Although no signs of a leak were present at time of inspection, Inspector recommends shower base caulk be repaired to prevent future leaks.



Repair caulk around master shower

## 13. Shower Walls

### Observations:

- Ceramic tile noted.
- Caulking needed around perimeter.

## 14. Bath Tubs

### Observations:

- Tub
- Some caulking repair needed at tub in Master Bathroom.



Master bath tub

#### 15. Sinks

Observations:

- No deficiencies observed.

#### 16. Toilets

Observations:

- Observed as functional and in good visual condition.
- Operated when tested. No deficiencies noted.

#### 17. Window Condition

Materials: Vinyl framed double hung window noted.

Observations:

- All accessible windows operated.

## Kitchen

The kitchen is used for food preparation and often for entertainment. Kitchens typically include a stove, dishwasher, sink and other appliances.

### 1. Cabinets

Observations:

- No deficiencies observed on all kitchen cabinets.

### 2. Counters

Observations:

- No discrepancies noted.

### 3. Dishwasher

Observations:

- Operated.

### 4. Doors

Observations:

- No major system safety or function concerns noted at time of inspection.

### 5. Garbage Disposal

Observations:

- Operated - appeared functional at time of inspection.

### 6. Microwave

Observations:

- Microwave functioned properly at time of inspection

### 7. Cook top condition

Observations:

- Oven(s) operated when tested.

### 8. Oven & Range

Observations:

- Oven: gas burners
- All heating elements operated when tested.

### 9. Sinks

Observations:

- **Faucet leaks at base of kitchen sink. Owner of home was aware of leak and notified the inspector. Owner said plumber was scheduled to repair leaky faucet. Recommend service be verified before settlement**



#### 10. Plumbing

Observations:

- Plumbing all appeared functional at time of inspection.

#### 11. Ceiling Condition

Materials: There are drywall ceilings noted.

#### 12. Electrical

Observations:

- No major system safety or function concerns noted at time of inspection.

#### 13. GFCI

Observations:

- GFCI in place and operational.

#### 14. Wall Condition

Materials: Drywall walls noted.

## Laundry

## 1. Locations

Locations: Upstairs hallway closet

## 2. Dryer Vent

Observations:

- Dryer vent appears functional. Lint inside of a dryer vent is extremely flammable, recommend dryer vent be cleaned out regularly.

## 3. GFCI

Observations:

- GFCI in place and operational

## 4. Gas Valves

Observations:

- Gas shut off valves were present and functional.

## Heat/AC

The heating, ventilation, and air conditioning and cooling system (often referred to as HVAC) is the climate control system for the structure. The goal of these systems is to keep the occupants at a comfortable level while maintaining indoor air quality, ventilation while keeping maintenance costs at a minimum. The HVAC system is usually powered by electricity and natural gas, but can also be powered by other sources such as butane, oil, propane, solar panels, or wood.

The inspector will usually test the heating and air conditioner using the thermostat or other controls. For a more thorough investigation of the system please contact a licensed HVAC service person.

### 1. Heater Condition

Materials: The furnace is located in the basement

Materials: Gas fired forced hot air.

Observations:

- Gas furnace operated properly, all safeties were checked and functioned properly.

### 2. Heater Base

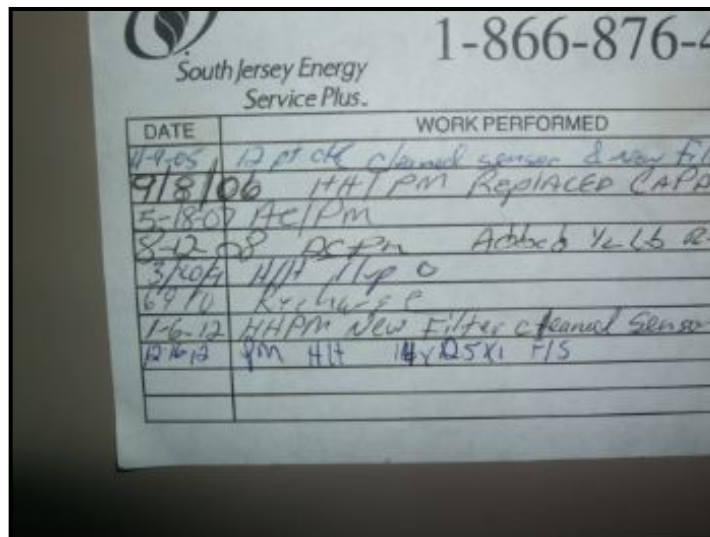
Observations:

- The heater base appears to be functional.

### 3. Enclosure

Observations:

- IMPROVE: The furnace was clean and had a service record on front of unit. Recommend an HVAC contractor perform a system Clean-and-Check. HVAC systems require yearly maintenance.



Service record

### 4. Venting

Observations:

- Metal single wall chimney vent pipe noted.

### 5. Gas Valves

Observations:

- Gas shut off valves were present and functional.

### 6. Refrigerant Lines

Observations:

- No defects found.

## 7. AC Compress Condition

Compressor Type: Electric

Location: The compressor is located on the exterior right side of home.

Observations:

- Appeared functional at the time of inspection.
- Annual HVAC service contract is recommended.

## 8. Air Supply

Observations:

- The return air supply system appears to be functional.

## 9. Registers

Observations:

- The return air supply system appears to be functional.

## 10. Filters

Location: Located inside heater cabinet.

Observations:

- Filter located inside of heater, client was shown where filter was located and advised to change filter quarterly.

## 11. Thermostats

Observations:

- Functional at the time of inspection.

## Water Heater

## 1. Base

## Observations:

- The water heater base is functional.

## 2. Heater Enclosure

## Observations:

- The water heater enclosure is functional.

## 3. Combustion

## Observations:

- The combustion chamber appears to in functional condition.

## 4. Water Heater Condition

Heater Type: Gas

Location: The heater is located in the basement.

## Observations:

- Tank appears to be in satisfactory condition -- no concerns.
- No major system safety or function concerns noted at time of inspection.

## 5. TPRV

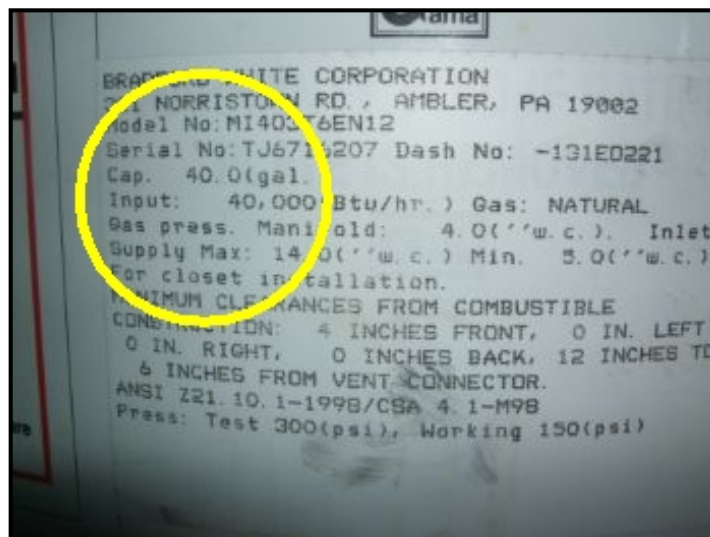
## Observations:

- Appears to be in satisfactory condition -- no concerns.

## 6. Number Of Gallons

## Observations:

- 40 gallons



40 gallon heater

## 7. Gas Valve

## Observations:

- Appears functional.



## 8. Plumbing

Materials: Copper

Observations:

- No deficiencies observed at the visible portions of the supply piping.

## Electrical

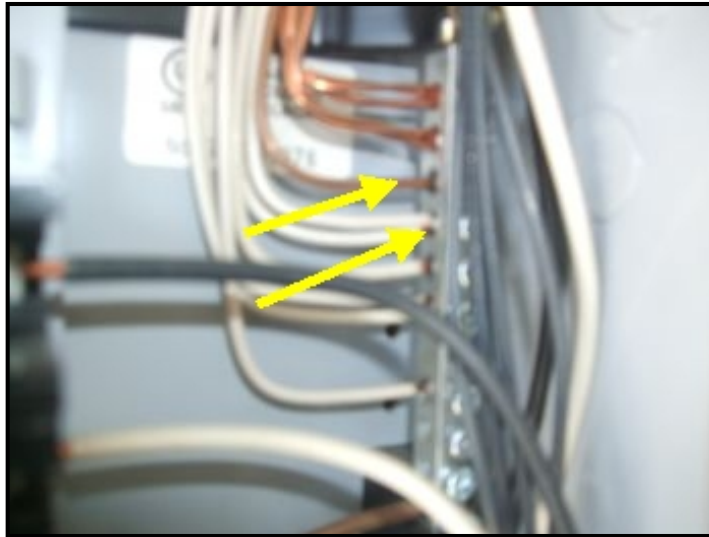
## 1. Electrical Panel

Location: Panel box located in garage.

Location: No Sub Panels located.

Observations:

• Neutral wires are current carrying conductors(white wire), therefore they should not be terminated under the same screw on neutral buss. If connection is loose on one of conductors arcing could happen and circuits heat up. neutrals should terminate separately Recommend a qualified electrician correct issue



double tapped neutrals

## 2. Main Amp Breaker

Observations:

• 100 amp

## 3. Breakers in off position

Observations:

• 0

## 4. Cable Feeds

Observations:

• There is an underground service lateral noted.

## 5. Breakers

Materials: Copper non-metallic sheathed cable noted.

Observations:

• All of the circuit breakers appeared serviceable.

# Basement/Crawlspace

## 1. Walls

Materials: Combination Basement and Crawlspace

Observations:

- Area of poor workmanship noted on wall in crawl space. this does not appear to be a area for concern



## 2. Windows

Materials: Aluminum framed sliding window noted.

Observations:

- All accessible windows operated.

## 3. Plumbing Materials

Materials: Appears Functional.

Observations:

- Copper

## 4. Access

Materials: Interior staircase

Observations:

- Access from staircase in kitchen

## 5. Stairs

Observations:

- Minimal light observed, suggest installing a light fixture in stairway for safety.

## 6. Sump Pump

Observations:

- Functional at time of inspection.

## 7. Framing

Observations:

- Appears Functional.

## 8. Subfloor

### Observations:

- Not fully visible for inspection due to insulation and covering.

## 9. Columns

### Observations:

- No deficiencies were observed at the visible portions of the structural components of the home.
- Steel column appears to have been added and new footer appears to have been installed



Area of new footer

## 10. Piers

### Observations:

- No deficiencies were observed at the visible portions of the structural components of the home.

Residential Earthquake Hazards Report

Yes No N/A Don't Know  
    1. Is the water heater braced, strapped, or anchored to resist falling during an earthquake?

Yes No N/A Don't Know  
    2. Is the house anchored or bolted to the foundation?

Yes No N/A Don't Know  
    3. If the house has cripple walls:  
a. Are the exterior cripple walls braced?

Yes No N/A Don't Know  
    b. If the exterior foundation consists of unconnected concrete piers and posts, have they been strengthened?

Yes No N/A Don't Know  
    4. If the exterior foundation, or part of it, is made of unreinforced masonry, has it been strengthened?

Yes No N/A Don't Know  
    5. If the house is built on a hillside:  
a. Are the exterior tall foundation walls braced?

Yes No N/A Don't Know  
    b. Were the tall posts or columns either built to resist earthquakes or have they been strengthened?

Yes No N/A Don't Know  
    6. If the exterior walls of the house, or part of them, are made of unreinforced masonry, have they been strengthened?

Yes No N/A Don't Know  
    7. If the house has a living area over the garage, was the wall around the garage dooropening either built to resist earthquakes or has it been strengthened?

Yes No Don't Know  
   8. Is the house outside an Alquist-Priolo Earthquake Fault Zone (zones immediately surrounding known earthquake faults)?

Yes No Don't Know  
   9. Is the house outside a Seismic Hazard Zone (zone identified as susceptible to liquefaction or landsliding)?

EXECUTED BY:

(Seller) \_\_\_\_\_ (Seller) \_\_\_\_\_ Date \_\_\_\_\_

I acknowledge receipt of this form, completed and signed by the seller. I understand that if the seller has answered "No" to one or more questions, or if seller has indicated a lack of knowledge, there may be one or more earthquake weaknesses in this house.

(Buyer) \_\_\_\_\_ (Buyer) \_\_\_\_\_ Date \_\_\_\_\_

## Report Summary

The summary below consists of potentially significant findings. These findings can be a safety hazard, a deficiency requiring a major expenses to correct or items I would like to draw extra attention to. The summary is not a complete listing of all the findings in the report, and reflects the opinion of the inspector. Please review all of the pages of the report as the summary alone does not explain all the issues. All repairs must be done by a licensed & bonded trade or profession. I recommend obtaining a copy of all receipts, warranties and permits for the work done.

Interior Areas		
Page 12 Item: 8	Fireplace	<ul style="list-style-type: none"> <li>• Wood burning fireplace in Family room was checked, Damper functioned properly and Flue appeared to be cleaned from visible areas. Combustible clearances for wood burning fireplaces are 16" in front and 8" on sides. Fireplace side clearance was not 8". Recommend extending combustible clearances before fireplace is used to heat the home.</li> </ul>
Bedrooms		
Page 14 Item: 7	Smoke Detectors	<ul style="list-style-type: none"> <li>• CO detectors were not installed in home at time of inspection. Owner of home was directed as to where to install detectors. and said she would install them.</li> </ul>
Bathroom		
Page 16 Item: 12	Showers	<ul style="list-style-type: none"> <li>• Shower base showed signs of older caulking around it. Although no signs of a leak were present at time of inspection, Inspector recommends shower base caulk be repaired to prevent future leaks.</li> </ul>
Page 16 Item: 14	Bath Tubs	<ul style="list-style-type: none"> <li>• Some caulking repair needed at tub in Master Bathroom.</li> </ul>
Kitchen		
Page 18 Item: 9	Sinks	<ul style="list-style-type: none"> <li>• Faucet leaks at base of kitchen sink. Owner of home was aware of leak and notified the inspector. Owner said plumber was scheduled to repair leaky faucet. Recommend service be verified before settlement</li> </ul>
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